

# SWINGLE RESIDENCE



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MOSBY BUILDING ARTS, LTD.  
645 LEFFINGWELL AVE.  
ST. LOUIS, MO 63122  
OFFICE: 314.909.1800  
ARCHITECT: ARTHUR MERDINIAN



KATE AND CHRIS SWINGLE  
374 HALCYON DRIVE  
ST. LOUIS, MO 63122  
INTERIOR REMODEL AND ADDITION

PROJECT #: 240803

C/E DATE: 10.22.2024

D/A DATE: 12.12.2024

W/T DATE: 1.10.2025

C/A DATE: 2.18.2025

P/T DATE:

C/D DATE:

REVISION DATES:

-

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-

ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

DESIGNER: JENN LEWIS

DRAWN BY: EMILY HALL

PERMIT:

**A0.0**

## LIST OF ABBREVIATIONS

A/C	AIR CONDITIONER	DEMO	DEMOLITION	GS	GAS SERVICE	OC	ON CENTER	SS	STAINLESS STEEL
AB	ANCHOR BOLT	DH	DOUBLE HUNG	GYP	GYPSON	OHD	OVERHEAD DOOR	ST	STAINED
ABV	ABOVE	DIA	DIAMETER	HT	HEIGHT	OPNG	OPENING	STD	STANDARD
ADJ	ADJUST	HB	HOSE BIB	HTR	HEATER	OPP	OPPOSITE	STL	STEEL
AEG	ABOVE EXISTING GRADE	HDR	HEADER	HVAC	HEATING, VENTILATION, AIR/CON	P	PART	STRUC	STRUCTURE
AFF	ABOVE FINISHED FLOOR	HDR	HARD WOOD	HN	HOT WATER	PC	PRE-CAST CONCRETE	SW	SWITCH
AFG	ABOVE FINISHED GRADE	HOR	HORIZONTAL	HND	HARDWARE	PKT	POCKET	SYF	SOUTHERN YELLOW PINE
ALT	ALTERNATE	DIAG	DIAGONAL	INCL	INCLUDED	PL	PLATE	SYS	SYSTEM
AP	ACCESS PANEL	DIM	DIMENSION	INSL	INSULATION	PLAS	PLASTER	T	TREAD
APP'D	APPROVED	INT	INTERIOR	INT	INTERIOR	FLG	FLUORING	T&G	TONGUE AND GROOVE
ARCH	ARCHITECT	DR	DOOR	JB	JAMB	FLBG	FLUORING	TEL	TELEPHONE
ANV	AREA NOT VERIFIED	DS	DOWN SPOUT	JBOX	JUNCTION BOX	FLYND	FLYWOOD	TG	TEMPERED GLASS
ATC	ACOUSTIC TILE CEILING	DN	DOWN	JST	JOIST	FNL	PANEL	TH	THRESHOLD
BD	BOARD	DWG	DRAWING	JT	JOINT	PSF	POUNDS PER SQUARE FOOT	TOB	TOP OF BEAM
BLDG	BUILDING	EA	EACH	KP	KICK PLATE	PSI	POUNDS PER SQUARE INCH	TOF	TOP OF FOOTING
BM	BEAM	EP	EXHAUST FAN	KS	KNEE SPACE	PT	PRESSURE TREATED	TOJ	TOP OF JOIST
BOB	BOTTOM OF BEAM	ELEC	ELECTRIC	LAH	LAMINATE	PAR	PAR	TON	TOP OF MASONRY
BOF	BOTTOM OF FOOTING	ELEV	ELEVATION	LAT	LATERAL	QTY	QUANTITY	TOP	TOP OF PLATE
BOJ	BOTTOM OF JOIST	EQ	EQUAL	LAV	LAVATORY	R	RISER	TON	TOP OF WALL
BOSF	BOTTOM OF SUB FLOOR	EQUIP	EQUIPMENT	LBR	LUMBER	RA	RETURN AIR	TYP	TYPICAL
BOV	BOTTOM OF WALL	EST	ESTIMATE	LF	LINEAR FEET	RAD	RADIUS	UNO	UNLESS NOTED OTHER WISE
BP	BEARING POINT	EXH	EXHAUST	LOC	LOCATION	RE	REFER TO	UNEX	UNEXCAVATED
BRG	BEARING	EXIST	EXISTING	LT	LIGHT	REC	RECEPACLE	UNFIN	UNFINISHED
BSMT	BASEMENT	EXT	EXTERIOR	LTG	LIGHTING	REF	REFERENCE	VENT	VENTILATION
BTM	BOTTOM	FAB	FABRICATE	LVL	LAMINATED VENEER LUMBER	REFG	REFRIGERATOR	VERT	VERTICAL
CAB	CABINET	FD	FLOOR DRAIN	MAS	MASONRY	REG	REGISTER	VB	VAPOR BARRIER
CEM	CEMENT	FFH	FROST FREE HOSE BIB	MATL	MATERIAL	REIN	REINFORCED	VIF	VERIFY IN FIELD
CER	CERAMIC	FIN	FINISH	MAX	MAXIMUM	REQ	REQUIRED	VA	VOLTAGE
CFM	CUBIC FEET PER MINUTE	FIX	FIXTURE	MECH	MECHANICAL	RET	RETURN	W	WITH
CL	CENTERLINE	FLR	FLORESCENT	MED	MEDIUM	REV	REVISION	WI	WITHIN
CLG	CEILING	FLR	FLOOR	MFR	MANUFACTURER	RM	ROOM	WO	WITHOUT
CLO	CLOSET	FND	FOUNDATION	MFRD	MANUFACTURED	RO	ROUGH OPENING	WG	WATER GLOSET
CMU	CONCRETE MASONRY UNIT	FR	FRAMING	MIN	MINIMUM	ROW	RIGHT OF WAY	WD	WOOD
CO	CASED OPENING	FT	FEET/FOOT	MLD	MOLDING	SC	SOLID CORE	WDN	WINDOW
COL	COLUMN	FTG	FOOTING	MO	MASONRY OPENING	SCHED	SCHEDULE	WF	WIDE FLANGE
CONC	CONCRETE	FURN	FURNACE	MBA	MOSBY BUILDING ARTS	SCON	SEALED CONCRETE	WH	WATER HEATER
CONT	CONTINUOUS	FV	FIELD VERIFY	MOD	MODULAR	SD	SMOKE DETECTOR	WIG	WALK IN CLOSET
CONTR	CONTRACTOR	GA	GAUGE	MTL	METAL	SECT	SECTION	WIP	WEATHERPROOF
CFT	CARPET	GALV	GALVANIZED	NFC	NOT FOR CONSTRUCTION	SEL	SELECTION	WS	WATER SERVICE
CSMT	CASEMENT	GC	GENERAL CONTRACTOR	NIC	NOT IN CONTRACT	SF	SQUARE FOOT	WT	WEIGHT
CTR	CENTER	GD	GRADE	NO#	NUMBER	SHT	SHEET	WNF	WELDED WIRE FABRIC
CU FT	CUBIC FEET	GFCI	GROUND FAULT CIRCUIT INTERPUT	NOM	NOMINAL	SI	SQUARE INCH		
DB	DECIBEL	GFI	GROUND FAULT INTERPUT	NTS	NOT TO SCALE	SIM	SIMILAR		
DBL	DOUBLE	GL	GLASS	NV	NOT VERIFIED	SF	SUMP PUMP		
DBO	DESIGNED BY OTHERS	GND	GROUND	OA	OVERALL	SPECS	SPECIFICATIONS		

## BUILDING CODE DATA

MUNICIPALITY: GLENDALE

BUILDING CODE: 2015 IRC

ZONING: R-1

GREEN SPACE: SEE SHEET A0.4 FOR CALCULATIONS

## SYMBOLS LEGEND

	DRAWING NUMBER SHEET NUMBER	SECTION CUT
	DRAWING NUMBER SHEET NUMBER	RENDERING
	DRAWING NUMBER SHEET NUMBER	INTERIOR ELEVATION
	DRAWING NUMBER SHEET NUMBER	KEYED NOTES
	DRAWING NUMBER SHEET NUMBER	PLAN DETAIL CALL-OUT

## INDEX OF DRAWINGS

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A0.3	AERIAL SITE PLAN
A0.4	IMPERVIOUS/FAR SITE PLANS
A0.5	GRADING/STORM WATER PLAN
A1.0	EXISTING/ DEMO FOUNDATION PLAN
A1.1	EXISTING/ DEMO FIRST FLOOR PLAN
A2.0	NEW LOWER LEVEL PLAN
A2.0E	NEW LOWER LEVEL ELEC. PLAN
A2.1	NEW FIRST FLOOR PLAN
A2.1E	NEW FIRST FLOOR ELEC. PLAN
A2.1R	NEW ROOF PLAN
A3.0	EXISTING NORTH EXTERIOR ELEVATION
A3.1	EXISTING WEST EXTERIOR ELEVATION
A3.2	EXISTING SOUTH EXTERIOR ELEVATION
A4.0	NEW NORTH EXT. ELEVATION
A4.1	NEW WEST EXT. ELEVATION
A4.2	NEW SOUTH EXT. ELEVATION
A7.0	NEW EXTERIOR 3D RENDERINGS
A7.1	EXISTING RESIDENCE PHOTOS NEIGHBOR RESIDENCE PHOTOS

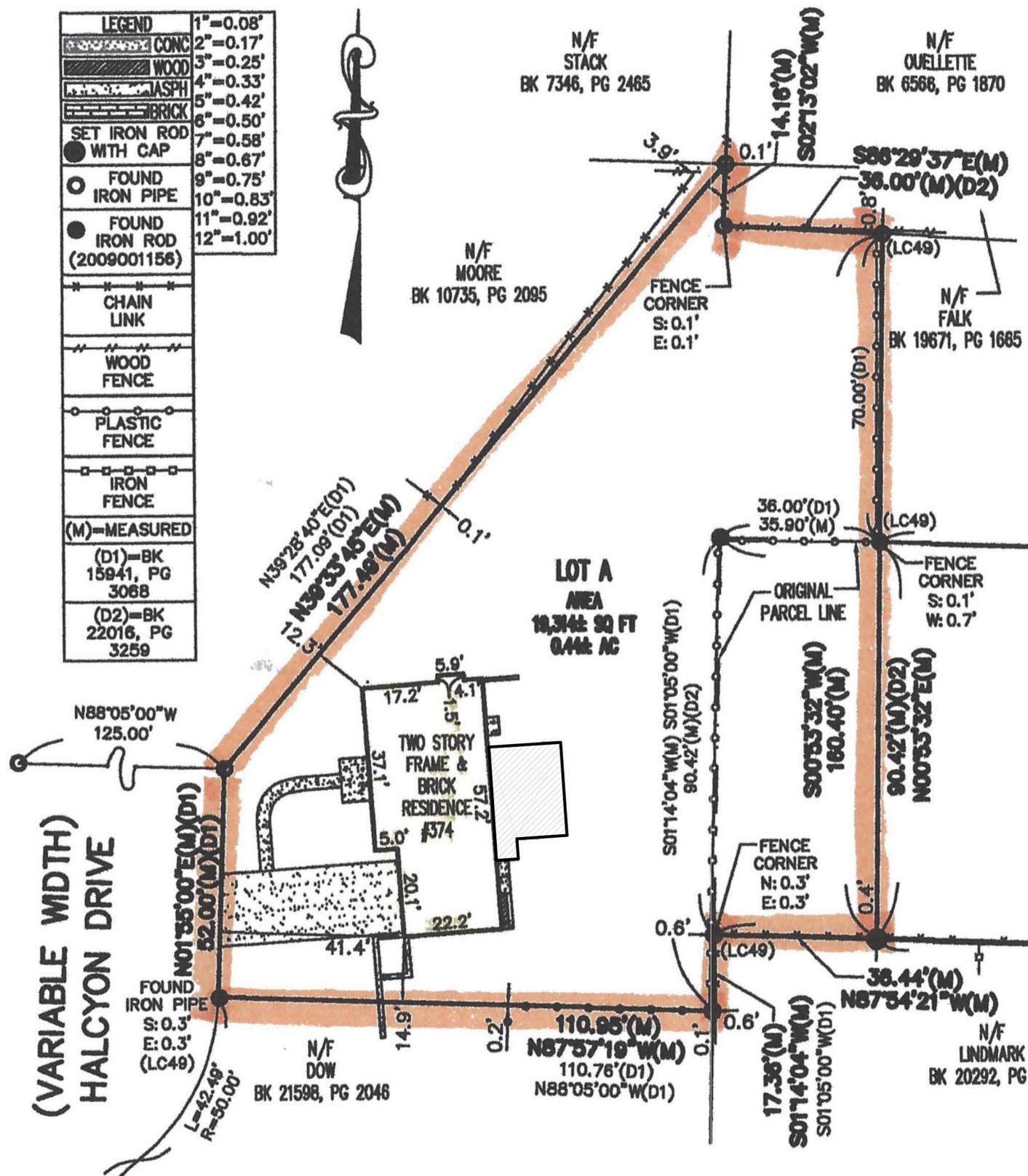
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OWNER:

LEGEND	
	1"=0.08'
	2"=0.17'
	3"=0.25'
	4"=0.33'
	5"=0.42'
	6"=0.50'
	7"=0.58'
	8"=0.67'
	9"=0.75'
	10"=0.83'
	11"=0.92'
	12"=1.00'



(VARIABLE WIDTH)  
HALCYON DRIVE

1 EXISTING SITE PLAN  
SCALE: 1" = 20'-0"



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ARCHITECT: ARTHUR MERDINIAN  
MO LICENSE #: A-6879

DESIGNER: JENN LEWIS  
DRAWN BY: EMILY HALL  
PERMIT:

A0.1

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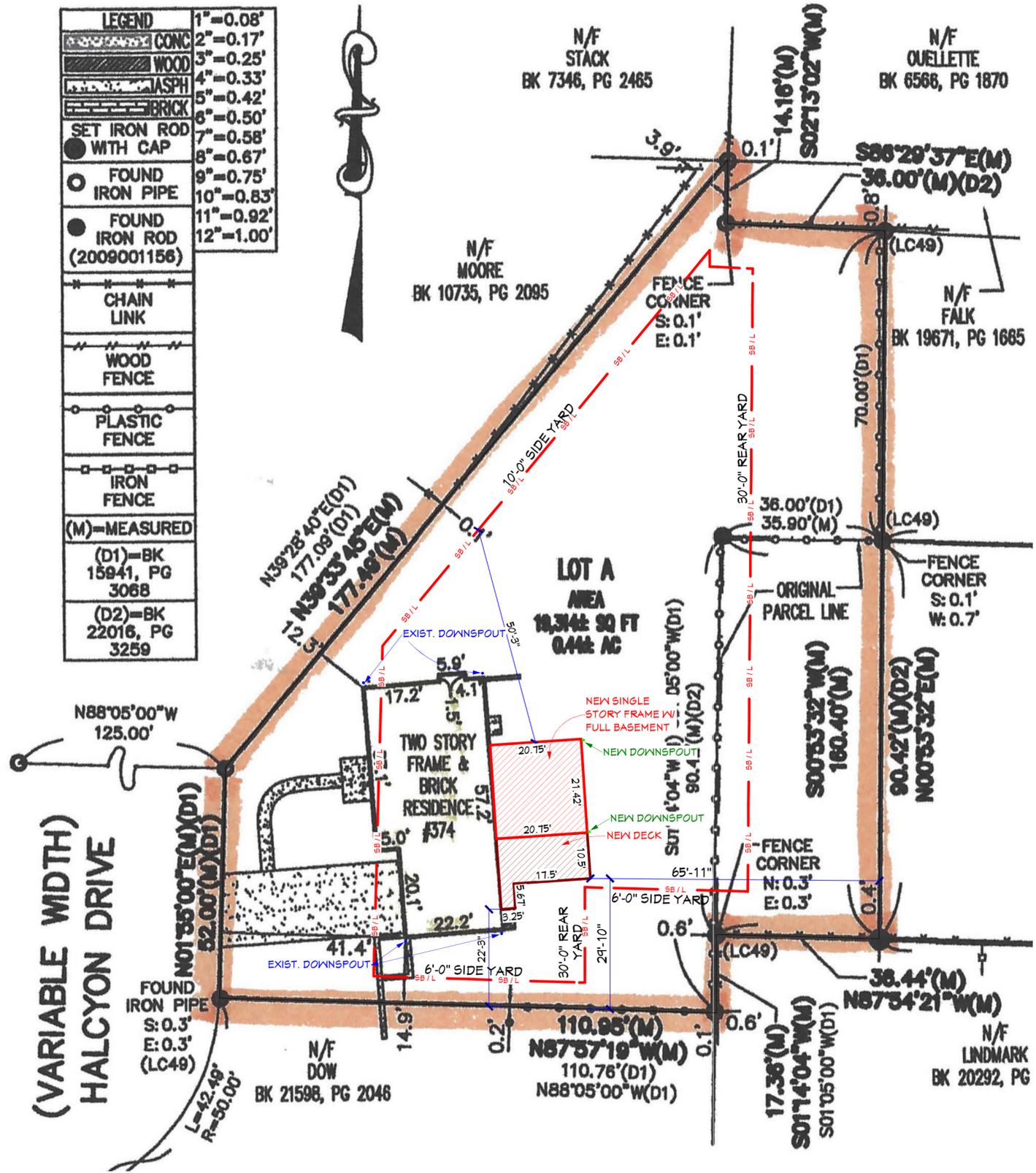
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OWNER:

LEGEND	1" = 0.08'
CONC	2" = 0.17'
WOOD	3" = 0.25'
ASPH	4" = 0.33'
BRICK	5" = 0.42'
SET IRON ROD WITH CAP	6" = 0.50'
FOUND IRON PIPE	7" = 0.58'
FOUND IRON ROD (2009001156)	8" = 0.67'
CHAIN LINK	9" = 0.75'
WOOD FENCE	10" = 0.83'
PLASTIC FENCE	11" = 0.92'
IRON FENCE	12" = 1.00'
(M) = MEASURED	
(D1) = BK 15941, PG 3088	
(D2) = BK 22016, PG 3259	



(VARIABLE WIDTH)  
HALCYON DRIVE

1 NEW SITE PLAN  
SCALE: 1" = 20'-0"



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MO LICENSE #: A-6879

DESIGNER: JENN LEWIS  
DRAWN BY: EMILY HALL  
PERMIT:

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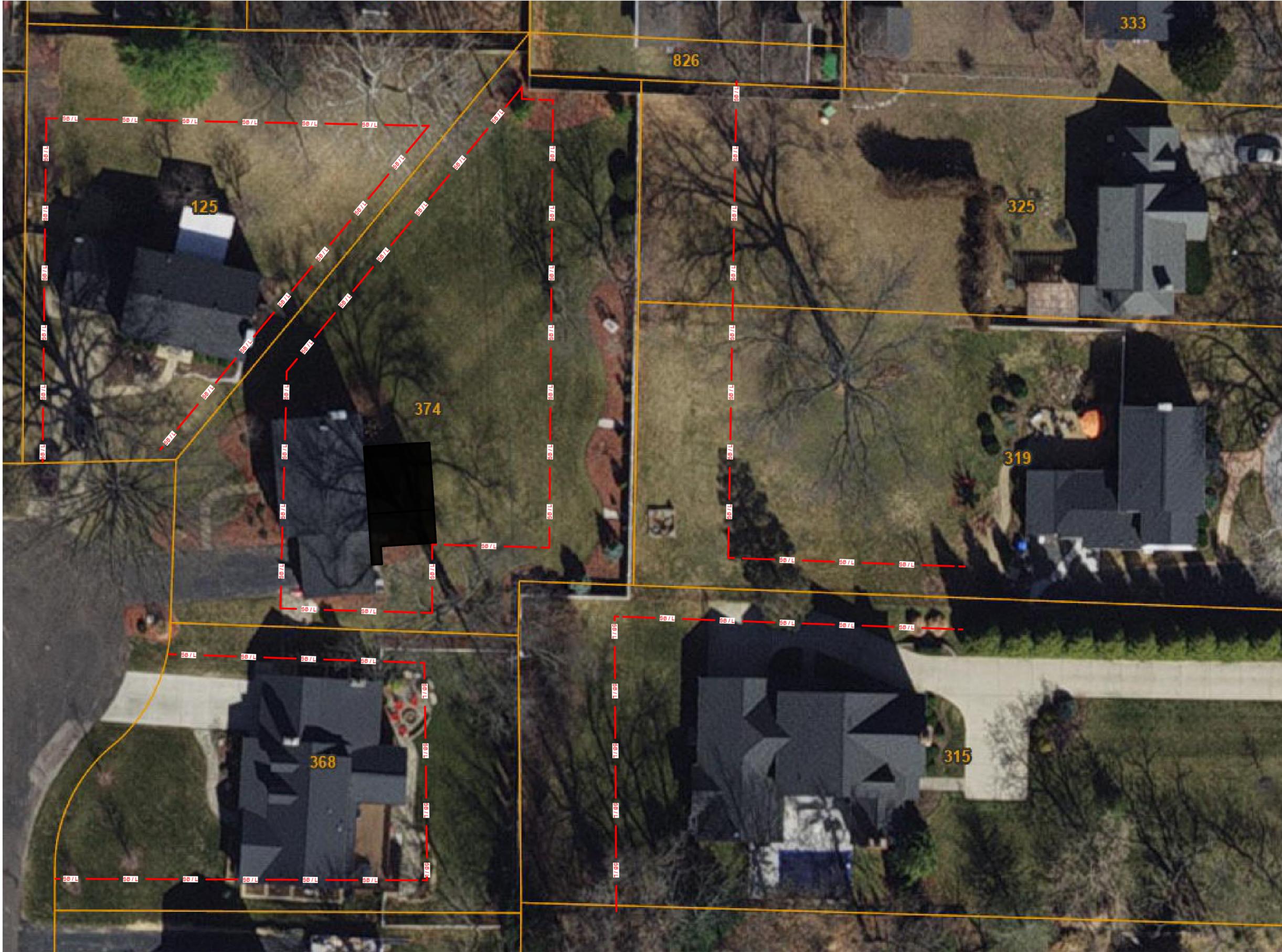
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PERMIT:

## A0.3



1 AERIAL PHOTO PLAN  
SCALE: 1" = 20'-0"



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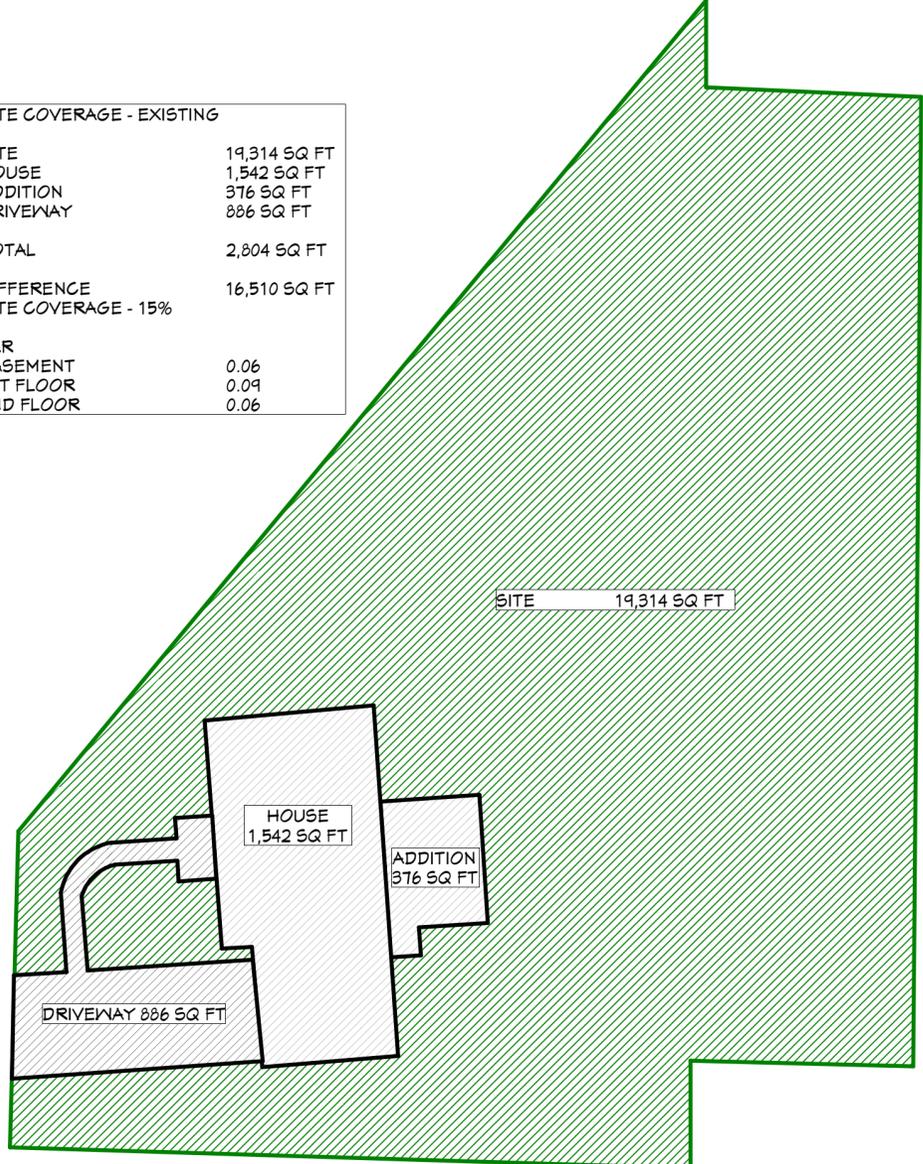
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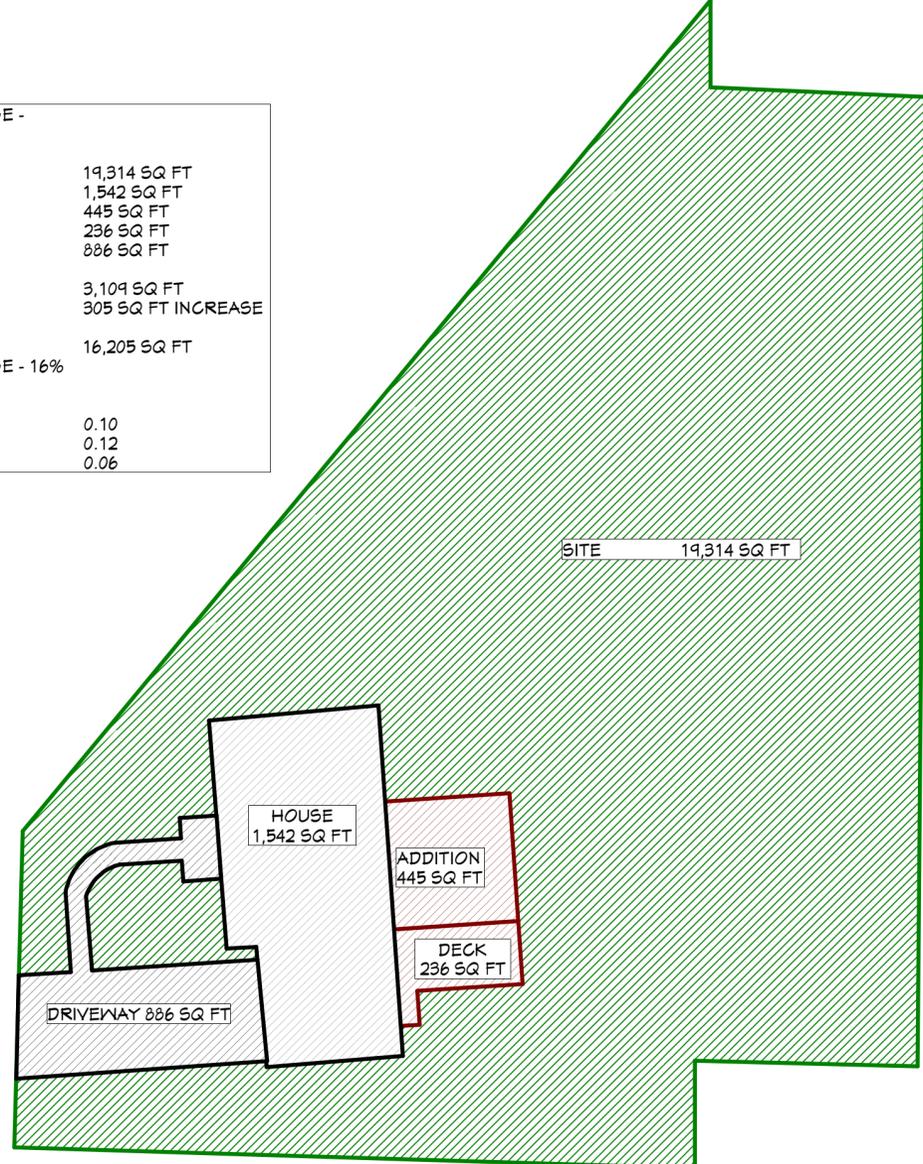


KATE AND CHRIS SWINGLE  
374 HALCYON DRIVE  
ST. LOUIS, MO 63122  
INTERIOR REMODEL AND ADDITION

SITE COVERAGE - EXISTING	
SITE	19,314 SQ FT
HOUSE	1,542 SQ FT
ADDITION	376 SQ FT
DRIVEWAY	886 SQ FT
TOTAL	2,804 SQ FT
DIFFERENCE	16,510 SQ FT
SITE COVERAGE - 15%	
FAR	
BASEMENT	0.06
1ST FLOOR	0.09
2ND FLOOR	0.06



SITE COVERAGE - PROPOSED	
SITE	19,314 SQ FT
HOUSE	1,542 SQ FT
ADDITION	445 SQ FT
DECK	236 SQ FT
DRIVEWAY	886 SQ FT
TOTAL	3,109 SQ FT
NET DIFF.	305 SQ FT INCREASE
DIFFERENCE	16,205 SQ FT
SITE COVERAGE - 16%	
FAR	
BASEMENT	0.10
1ST FLOOR	0.12
2ND FLOOR	0.06



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**1** AREA COVERAGE PLANS  
SCALE: 1" = 20'-0"



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## Storm Water Run-off Calculations

Total Impervious Area of Existing = 2,804 sq ft

Proposed Additional Impervious Area

Existing Addition – (-376 sq ft)

New Addition – 445 sq ft

New open Deck – 236 sq ft

Total new Impervious Area – 305 sq ft

Total Property Area = 19,314 sq ft

$2,804 / 19,314 \text{ sq ft} = 15\% \text{ impervious}$

$2,804 + 305 \text{ sq ft} = 3,109 \text{ sq ft}$

$3,109 / 19,314 \text{ sq ft} = 16\% \text{ new impervious}$

$305 / 43,560 \text{ sq ft} = 0.007 \text{ Acres}$

New Flow Rate increase =  $0.007 \times (3.54-1.70) \text{ CFS per acre} = 0.0128 \text{ cfs}$

Volume to Store =  $0.0128 \times 60 \times 20 = 15.456 \text{ cubic feet}$

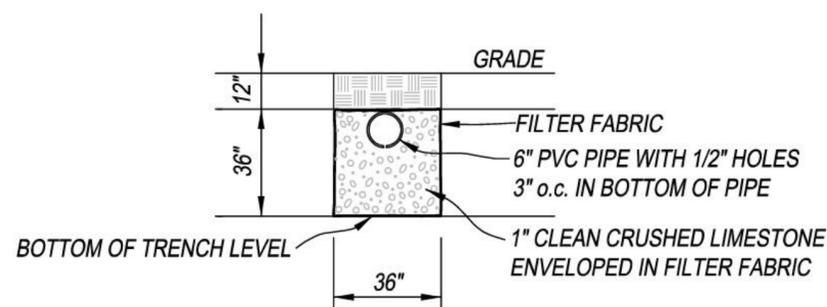
Volume of Pipe / Volume of Clean Rock ( 3'x4' @ 40% void ) provides 4.91 cf/ft

$15.456 \text{ cf} / 4.91 = 3.15 \text{ ft}$

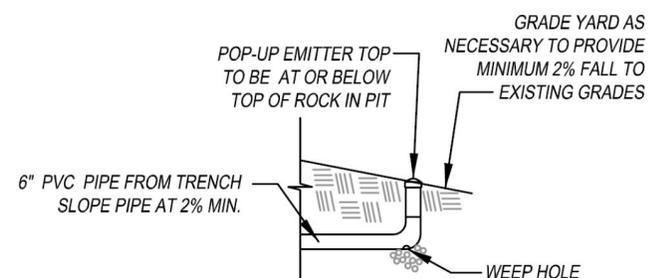
Roof area to catch =  $0.0128 / 3.54 \text{ cfs/acre} \times 43,560 = 157.5 \text{ sq ft}$

### PLAN NOTES:

- EXISTING CONTOURS SHOWN @ 1'-0" INTERVALS
- NO GRADING PROPOSED TO SITE
- \* ONLY GRADING WILL BE YARD LEVEL BACKFILL FROM FOOTING OVER-DIG ON NEW FOUNDATION

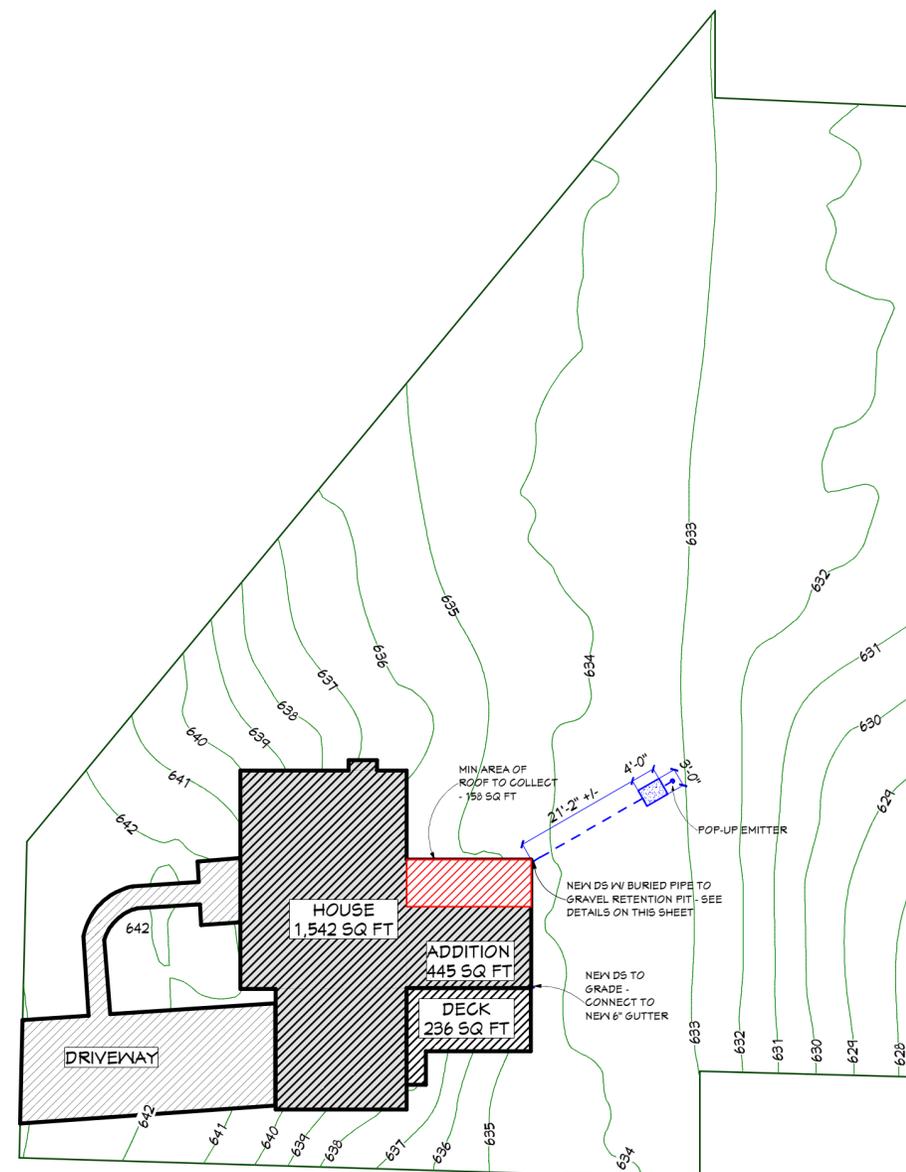


NOTE: CUT TRENCH WHEN SOILS ARE DRY. SCARIFY SIDES AND BOTTOM OF TRENCH WITH BUCKET TEETH. DO NOT SMEAR SOIL SURFACES.



## POP-UP EMITTER DETAIL

NOT TO SCALE



## 1 GRADING PLAN W/ STORM WATER RETENTION

SCALE: 1" = 20'-0"



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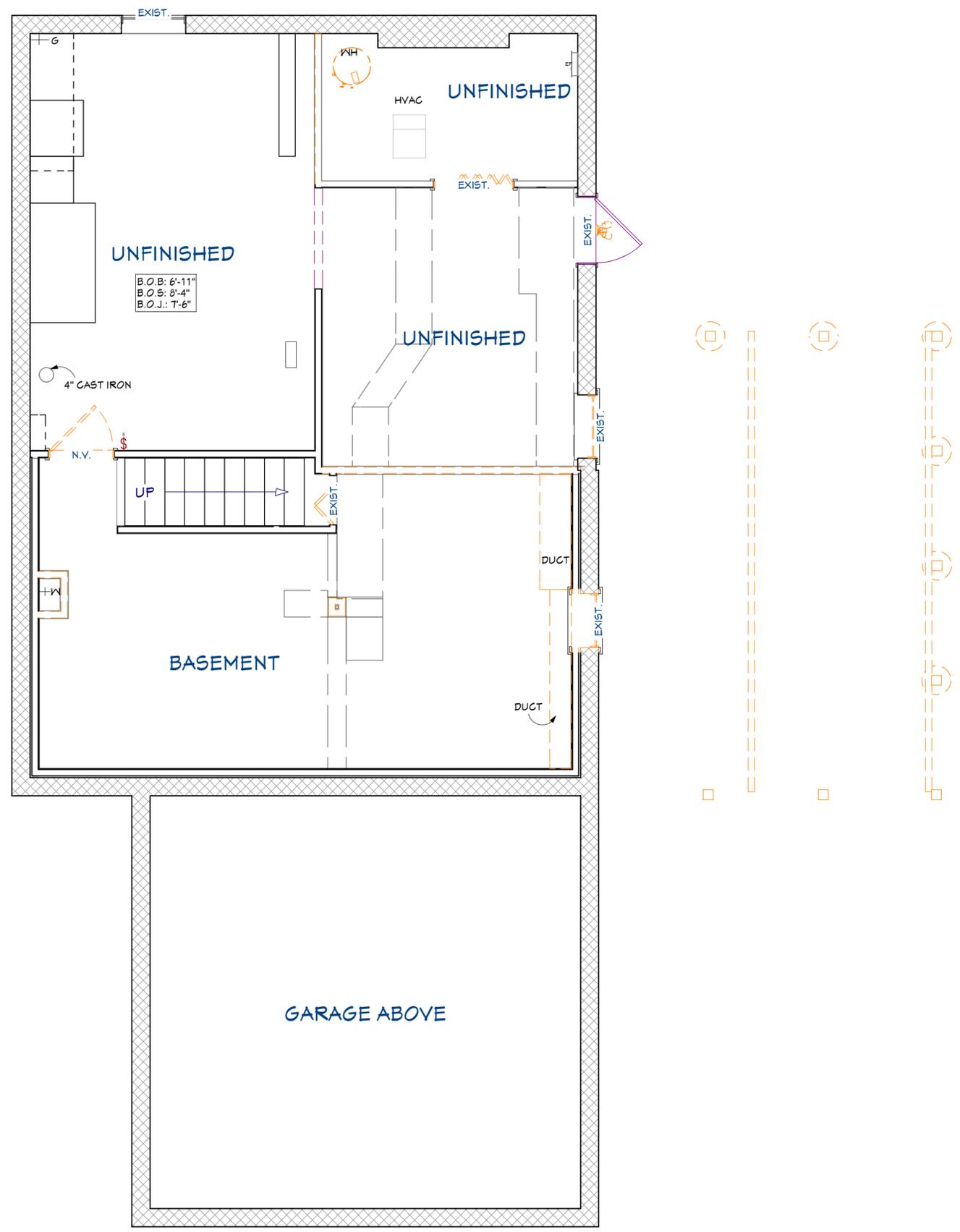
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**1** EXIST/DEMO LOWER LEVEL PLAN  
SCALE: 1/4" = 1'-0"

## KEYED NOTES

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## GENERAL NOTES

- MBA TO VERIFY EXISTING CONDITION DIMENSIONS.
- MBA TO SUPPLY SUPPORT TO STRUCTURE DURING DEMOLITION AND REMODEL.
- VERIFY ELECTRIC AND WATER SERVICE - UPGRADE AS REQUIRED.
- REMOVE EXISTING WALL FINISH(ES) AND CEILING MATERIALS INCLUDING LATH, PLASTER, GYPSUM BOARD, TILE, SIDING, ETC., TO THE EXTENT REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- REMOVE GUTTER, FASCIA, SOFFIT AND ROOFING AS NECESSARY FOR NEW CONSTRUCTION.
- SEE PLANS AND ELEVATIONS FOR MORE INFORMATION.

## LEGEND

- EXISTING COLUMN
- EXISTING PLUMB STACK
- EXISTING WALL
- DEMO WALL
- DEMO
- EXISTING FOUNDATION WALL

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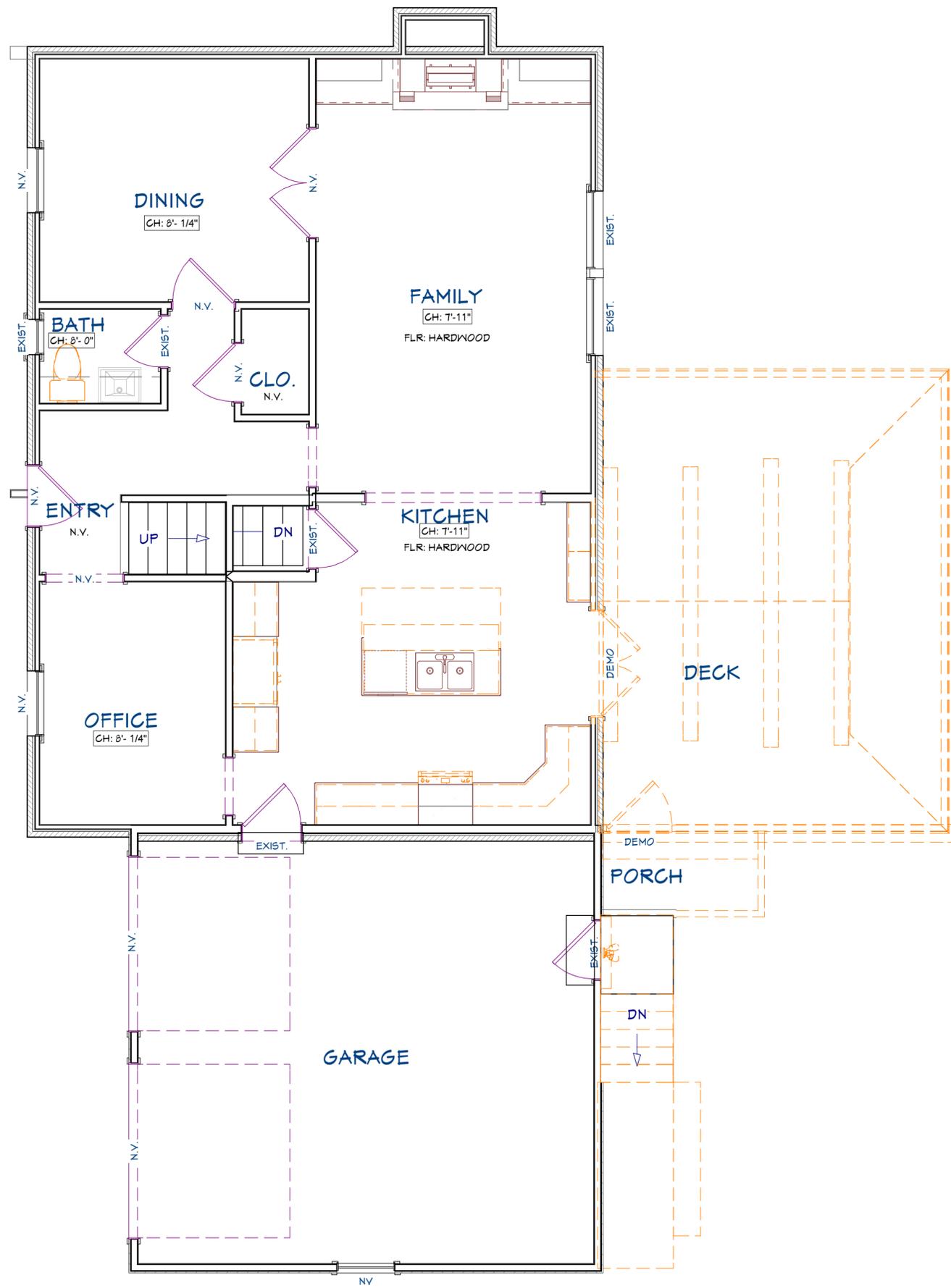
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**1** EXIST/DEMO FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



### KEYED NOTES

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ST. LOUIS, MO 63122  
OFFICE: 314.909.1800  
ARCHITECT: ARTHUR MERDINIAN



KATE AND CHRIS SWINGLE  
374 HALCYON DRIVE  
ST. LOUIS, MO 63122  
INTERIOR REMODEL AND ADDITION

PROJECT #: 240803  
C/E DATE: 10.22.2024  
D/A DATE: 12.12.2024  
W/T DATE: 1.10.2025  
C/A DATE: 2.18.2025  
P/T DATE:  
C/D DATE:

REVISION DATES:  
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### GENERAL NOTES

- MBA TO VERIFY EXISTING CONDITION DIMENSIONS.
- MBA TO SUPPLY SUPPORT TO STRUCTURE DURING DEMOLITION AND REMODEL.
- VERIFY ELECTRIC AND WATER SERVICE - UPGRADE AS REQUIRED.
- REMOVE EXISTING WALL FINISH(ES) AND CEILING MATERIALS INCLUDING LATH, PLASTER, GYPSUM BOARD, TILE, SIDING, ETC., TO THE EXTENT REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- REMOVE GUTTER, FASCIA, SOFFIT AND ROOFING AS NECESSARY FOR NEW CONSTRUCTION.
- SEE PLANS AND ELEVATIONS FOR MORE INFORMATION.

### WALL LEGEND

- EXISTING WALL
- EXISTING HALF WALL
- DEMO WALL
- DEMO

ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

DESIGNER: JENN LEWIS

DRAWN BY: EMILY HALL

PERMIT:

# A1.1

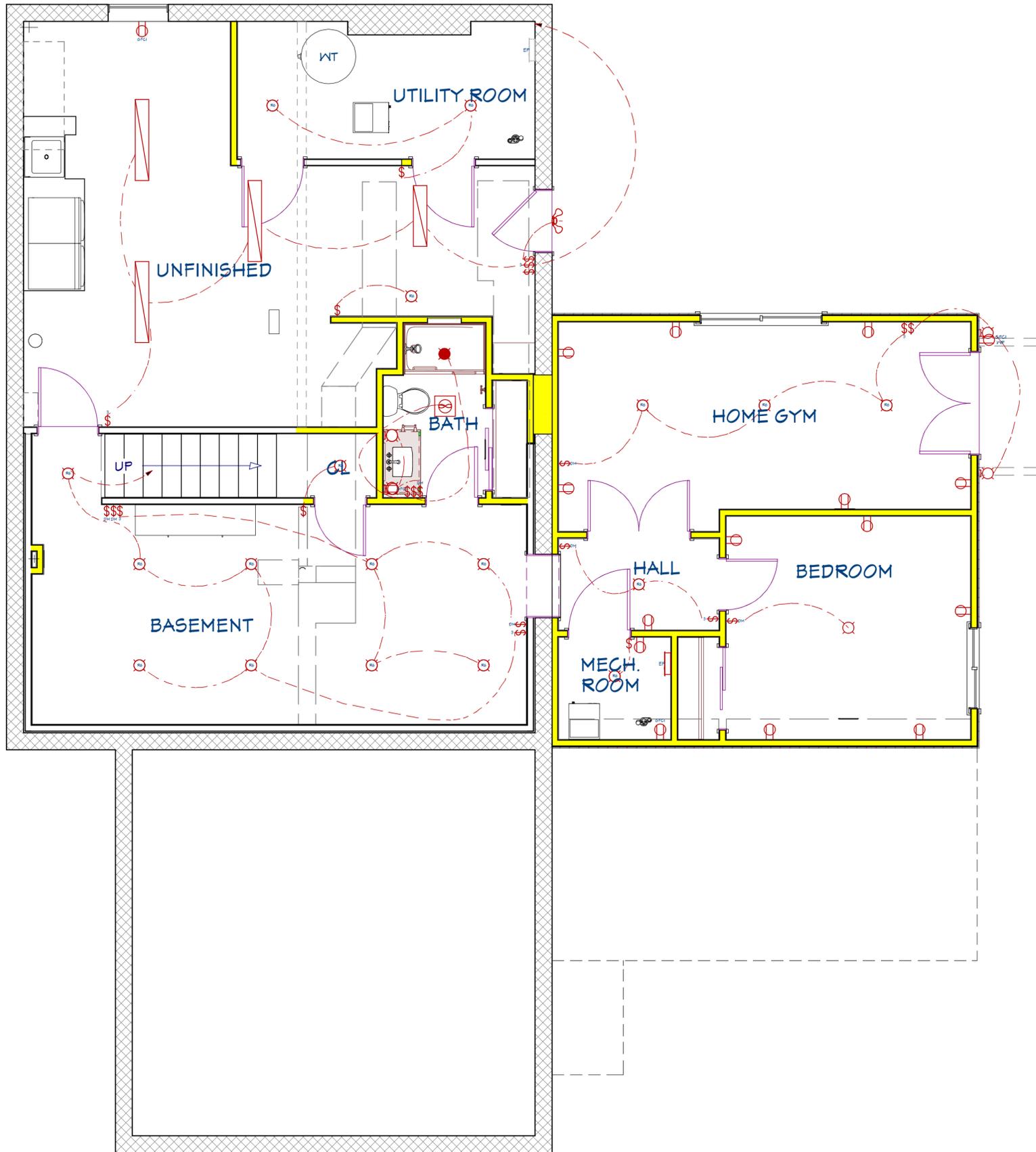
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# ARB SUBMITTAL - 3/18/25

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**1** NEW LOWER LEVEL ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"



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KATE AND CHRIS SWINGLE  
374 HALCYON DRIVE  
ST. LOUIS, MO 63122  
INTERIOR REMODEL AND ADDITION

### ELECTRICAL GENERAL NOTES

1. VERIFY FINAL LAYOUT AND FIXTURE SELECTION W/ PROJECT MANAGER, OWNER AND/ OR DESIGNER BEFORE INSTALLATION.
2. ELECTRICAL SHOWN IN GREY IS EXISTING TO REMAIN, ELECTRICAL SHOWN IN RED IS NEW.
3. ALL BEDROOM CIRCUITS TO HAVE ARC-FAULT PROTECTION.
4. PROVIDE ILLUMINATED SWITCHES AT STAIRS, PER CODE.
5. RETROFIT SMOKE AND CARBON MONOXIDE ALARMS: VERIFY! PROVIDE A SMOKE ALARM IN AND OUTSIDE EACH BEDROOM AND ON EACH STORY. SMOKE ALARMS MUST BE UL LISTED AND PHYSICALLY OR WIRELESSLY INTERCONNECTED SO ONE ALARM SOUNDS ALL ALARMS. SMOKE ALARMS MAY BE EITHER AC POWERED WITH A BATTERY BACK-UP OR BATTERY POWERED. VERIFY! PROVIDE UL LISTED CARBON MONOXIDE ALARM(S) OUTSIDE EACH BEDROOM AREA IF THE HOUSE HAS A FUEL-FIRED APPLIANCE OR GARAGE.
6. VERIFY EXISTING HOUSE IS COMPLIANT WITH CURRENT IRC R315, CARBON MONOXIDE DETECTION REQUIREMENTS. REVIEW WITH INSPECTOR ON SITE. IN EXISTING CONSTRUCTION, A CARBON MONOXIDE DETECTOR IS REQUIRED:
  - a. WHEN THE HOUSE HAS AN ATTACHED GARAGE OR
  - b. HAS FUEL-FIRED APPLIANCES INSTALL CARBON MONOXIDE DETECTORS OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. CO DETECTORS MUST BE UL 2034 COMPLIANT BUT ARE NOT REQUIRED TO BE HARD WIRED UNLESS REQUIRED BY ORDINANCE.
7. ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION SHALL BE PROVIDED PER E3402.16 & E3402.11

### ELECTRICAL LEGEND

- INTERCOM
- VOICE (CAT 5) JACKS
- CABLE TV OUTLET
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- THERMOSTAT
- EXHAUST FAN CLS MOUNT
- EXHAUST FAN WALL MOUNT
- DUPLEX RECEPTACLE
- WEATHER PROOF DUPLEX RECP.
- GFCI PROTECTED DUPLEX RECP.
- QUAD RECEPTACLE
- 220 VOLT RECEPTACLE
- CEILING RECEPTACLE
- FLOOR RECEPTACLE
- GARBAGE DISPOSAL
- DIMMER SWITCH
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- 3-WAY SWITCH
- TIMER SWITCH
- RECESSED CAN
- CEILING FIXTURE
- PENDANT FIXTURE
- LOW VOLTAGE
- WALL MOUNTED FIXTURE
- PUCK LIGHT
- UNDER CABINET FIXTURE
- CEILING FAN
- OUTDOOR LIGHT

PROJECT #: 240803

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C/A DATE: 2.18.2025

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REVISION DATES:

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ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

DESIGNER: JENN LEWIS

DRAWN BY: EMILY HALL

PERMIT:

**A2.0E**

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# ARB SUBMITTAL - 3/18/25

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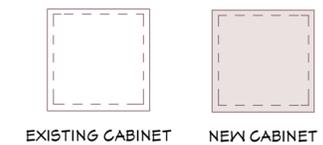


KATE AND CHRIS SWINGLE  
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INTERIOR REMODEL AND ADDITION

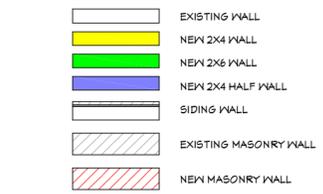
## GENERAL NOTES

- FRAMING NOTES:
  - TYPICAL EXTERIOR WALLS 2X6'S @ 16" O.C. W/ DOUBLE TOP & SINGLE BOTTOM PLATE
  - TYPICAL INTERIOR WALLS 2X4'S @ 16" O.C. W/ SINGLE TOP & BOTTOM PLATE
  - PROVIDE TREATED LUMBER WHEN THERE IS CONTACT W/ CONCRETE
  - INTERIOR WALL THICKNESS IS 4 1/2" U.N.O.
  - FRAMING DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD
  - PROVIDE DOUBLE FLOOR JOISTS @ ALL FLR. AND STAIR OPENINGS U.N.O.
  - TYP. HEADERS ARE (2) 2X10'S U.N.O.
  - SECURE 2X6 PLATE TO TOP FLANGE OF STEEL BEAM.
  - PROVIDE DOUBLE JOIST AT CORNERS OF CANTILEVERS.
- WINDOWS AND DOORS ARE DESIGNATED AS FEET-INCHES WIDE X FEET-INCHES TALL.
- FIELD VERIFY WINDOW AND DOOR SIZES BEFORE ORDERING.
- MBA TO PROVIDE COMBUSTION AIR FOR GAS APPLIANCES AS FOLLOWS:
  - SHALL HAVE A FREE AREA OF NOT LESS THAN ONE SQUARE INCH PER 1,000 BTU PER HOUR OF THE TOTAL INPUT RATING OF ALL APPLIANCES IN UNFINISHED AREA.
  - COMBUSTION AIR VENT OF PROPER SIZE TO DROP WITHIN 12" OF FINISH FLOOR RELIEF AIR VENT, SAME SIZE AT CEILING LEVEL.
- FIREBLOCKING:
  - FIRE STOP BETWEEN VERTICAL STUD SPACES AND AREA ABOVE THE CEILING @ TOP OF FND. WALLS W/ 5/8" DIA. MIN. ALL SOFFITS AND DROPPED CEILINGS SHALL BE FIRE-STOPPED.
  - FILL ANY FLOOR JOIST CAVITY THAT IS DIRECTLY ABOVE ANY WALL THAT SEPARATES A FINISHED AREA FROM AN UNFINISHED AREA SOLID WITH MINERAL WOOL OR INSTALL DRYWALL TO CLOSE OPENING.
  - INSTALL VERTICAL FIRE BLOCKING (FLR TO CLG) FOR EVERY 10' OF CONCEALED WALL SPACE.
  - FIRE BLOCK THE ENDS OF ANY BEAM OR DUCT ENCLOSURE TO SEPARATE IT FROM THE VERTICAL CONCEALED SPACES.
  - FIRE BLOCK THE TOP PLATES AND BEHIND THE TOP PLATES TO SEPARATE THE VERTICAL CONCEALED SPACE FROM THE HORIZONTAL CONCEALED SPACE.
- MINIMUM ONE WINDOW PER BEDROOM TO MEET EGRESS REQUIREMENTS.
- INSULATE BEHIND TUBS AND/OR SHOWERS @ EXTERIOR WALLS PRIOR TO INSTALLATION.
- GYP. BD. CEILING FINISH TO MATCH EXISTING.

## CABINET LEGEND



## WALL LEGEND



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ARCHITECT: ARTHUR MERDINIAN

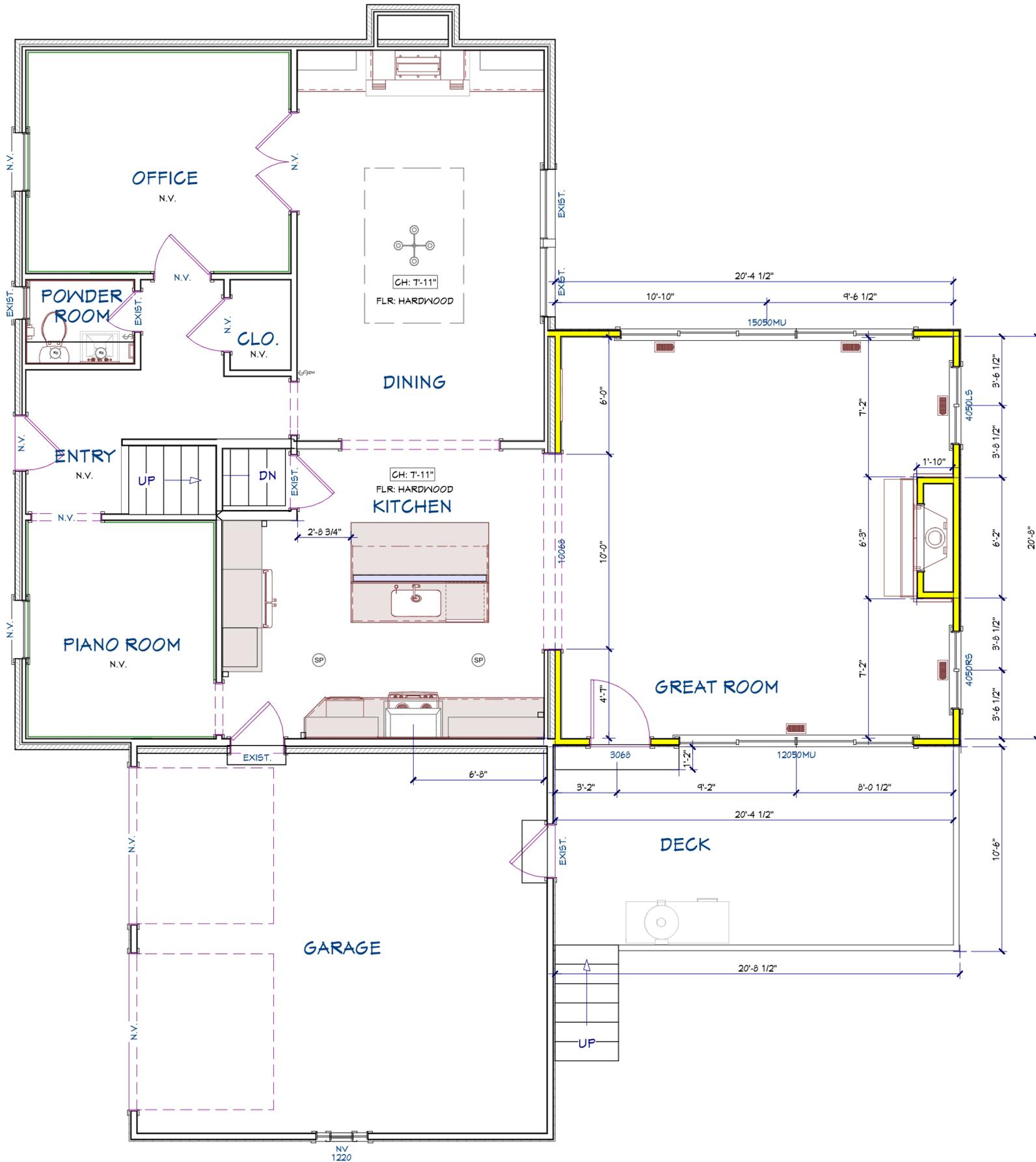
MO LICENSE #: A-6879

DESIGNER: JENN LEWIS

DRAWN BY: EMILY HALL

PERMIT:

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**1 NEW FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

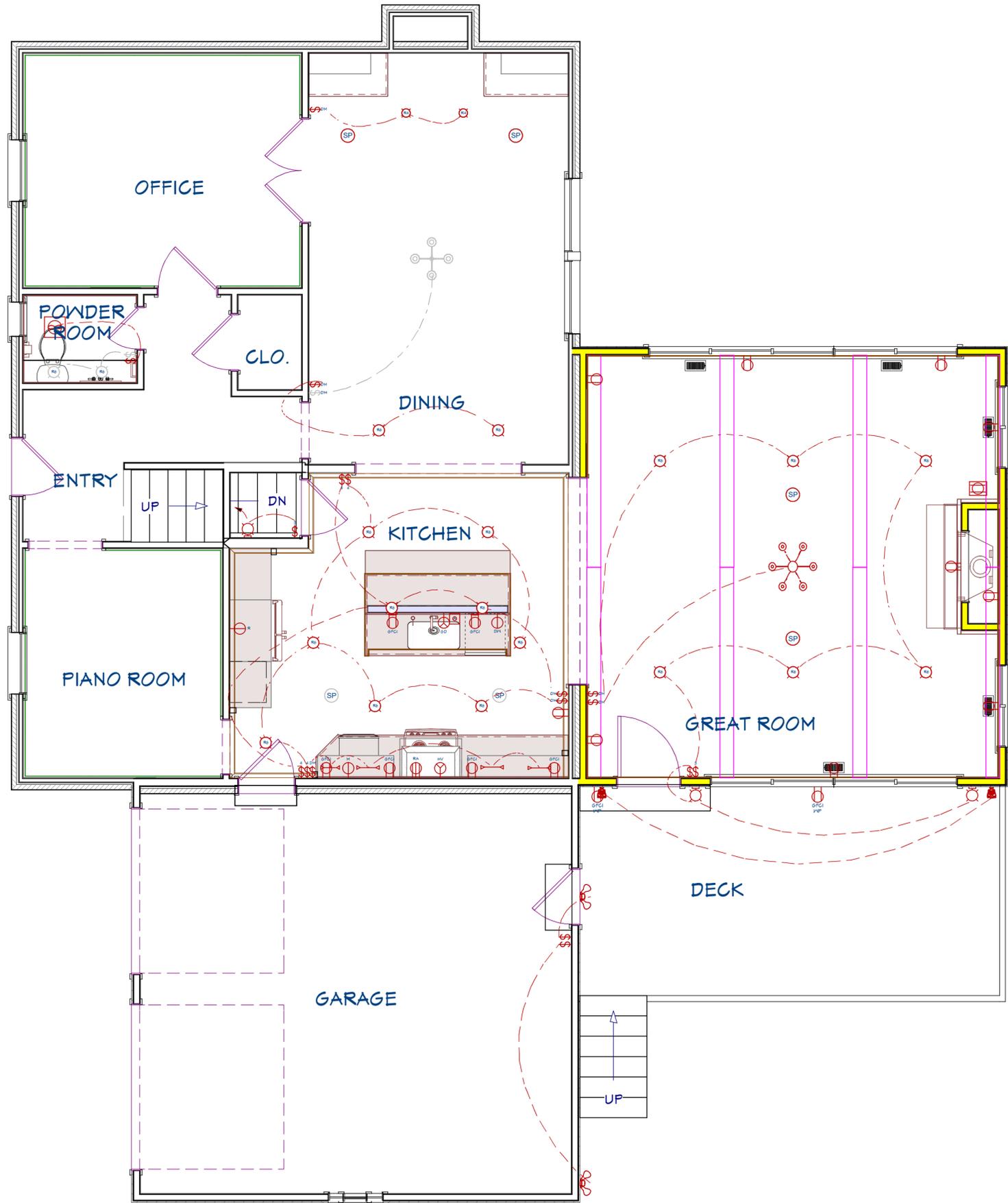


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# ARB SUBMITTAL - 3/18/25

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**1** NEW FIRST FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"



### KEYED NOTES

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INTERIOR REMODEL AND ADDITION

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PROJECT #: 240803

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ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

DESIGNER: JENN LEWIS

DRAWN BY: EMILY HALL

PERMIT:

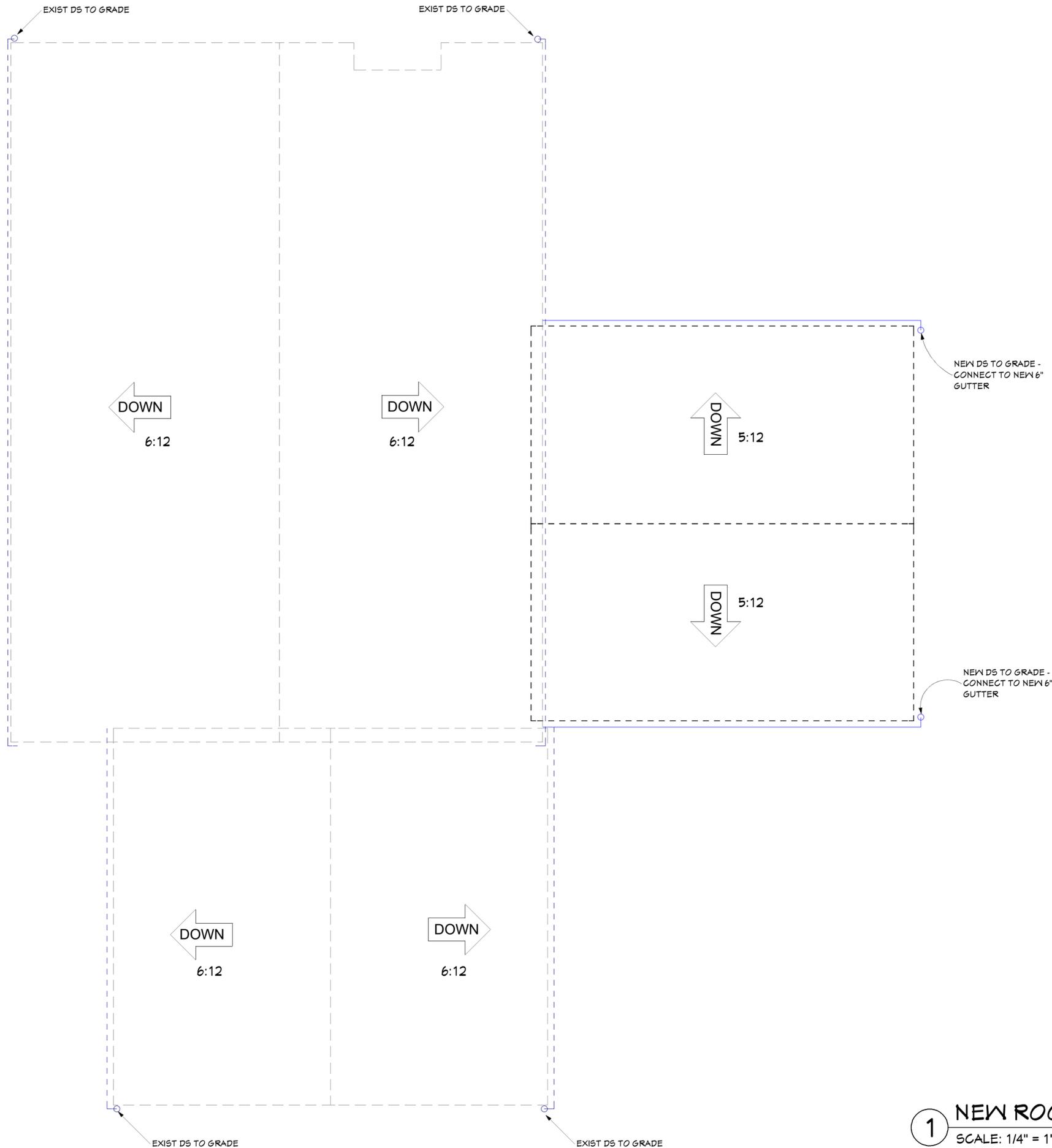
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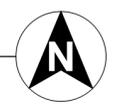
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# ARB SUBMITTAL - 3/18/25

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**1** NEW ROOF PLAN  
SCALE: 1/4" = 1'-0"



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ARCHITECT: ARTHUR MERDINIAN



KATE AND CHRIS SWINGLE  
374 HALCYON DRIVE  
ST. LOUIS, MO 63122  
INTERIOR REMODEL AND ADDITION

PROJECT #: 240803  
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ARCHITECT: ARTHUR MERDINIAN  
MO LICENSE #: A-6879

DESIGNER: JENN LEWIS  
DRAWN BY: EMILY HALL  
PERMIT:

PERMIT:

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# ARB SUBMITTAL - 3/18/25

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**1** EXIST/DEMO NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

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MO LICENSE #: A-6879

## ELEVATION GENERAL NOTES

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- MBA TO SUPPLY SUPPORT TO STRUCTURE DURING DEMOLITION AND REMODEL.
- VERIFY ELECTRIC AND WATER SERVICE - UPGRADE AS REQUIRED.
- REMOVE EXISTING WALL FINISH(ES) AND CEILING MATERIALS INCLUDING LATH, PLASTER, GYPSUM BOARD, TILE, SIDING, ETC., TO THE EXTENT REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- REMOVE GUTTER, FASCIA, SOFFIT AND ROOFING AS NECESSARY FOR NEW CONSTRUCTION.
- SEE PLANS AND ELEVATIONS FOR MORE INFORMATION.

DESIGNER: JENN LEWIS

DRAWN BY: EMILY HALL

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ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

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DESIGNER: JENN LEWIS

DRAWN BY: EMILY HALL

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# A3.1



**1** EXIST/DEMO WEST ELEVATION  
SCALE: 1/4" = 1'-0"

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**1** EXIST/DEMO SOUTH ELEVATION  
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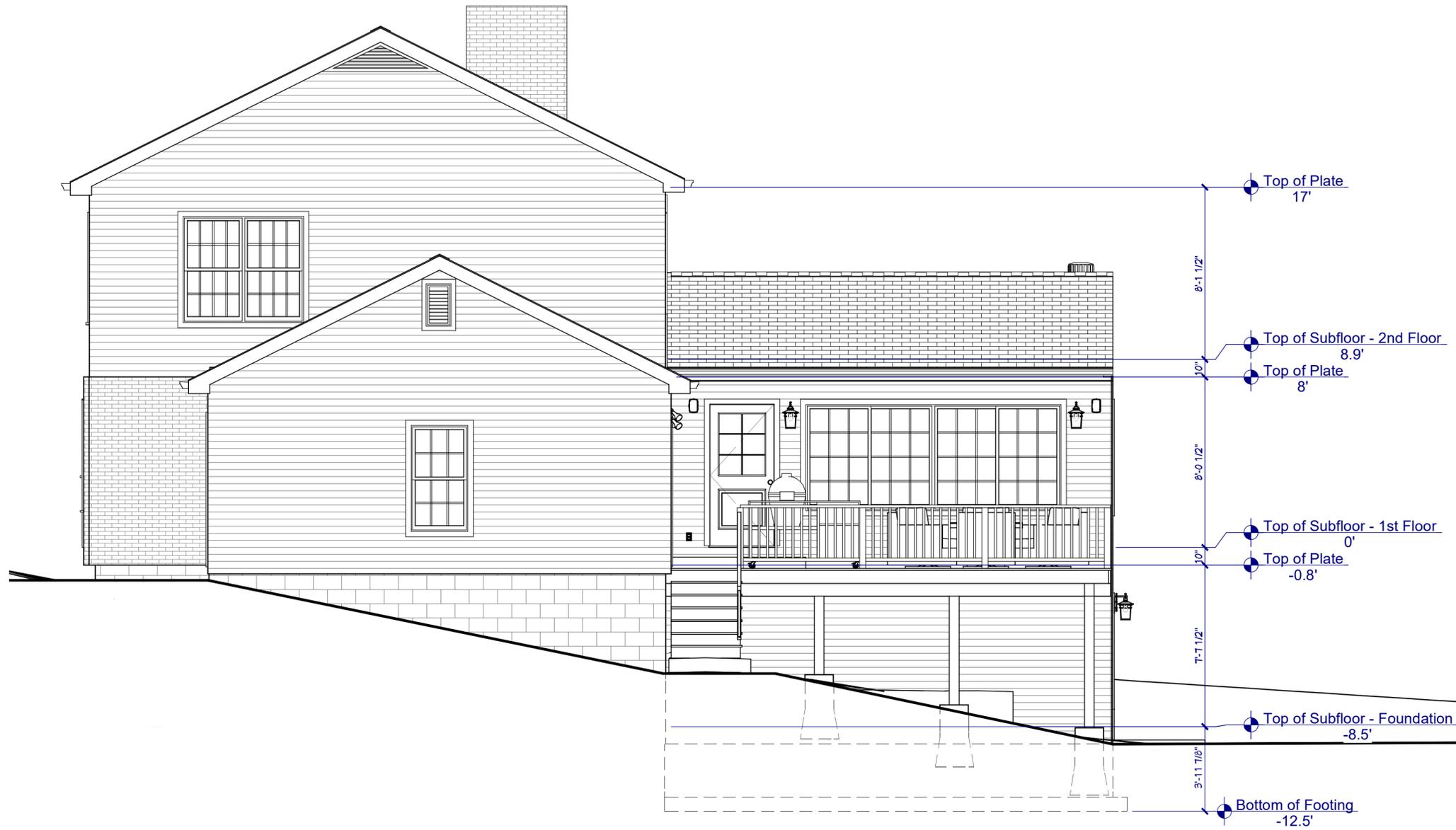
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**1** NEW NORTH EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

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### WALL BRACING LEGEND

- WALL BRACING TABLE:  
A) 24" MIN GS-WSP PANEL  
B) 48" MIN GS-WSP PANEL  
C) 16" MIN GS-PF PORTAL FRAME

PANEL WIDTHS ARE BASED ON CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING. REFERENCE TABLE R602.10.3(1) FOR LENGTH REQUIREMENTS.

ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

### ELEVATION GENERAL NOTES

- TYPICAL HEADERS ARE (2) 2x10'S U.N.O.
- SEE OTHER SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION, TYPICAL DETAILS, AND GENERAL SPECIFICATIONS.
- INTERLACE SHINGLES AT ALL VALLEYS (TYP.).
- STRUCTURAL DESIGN ASSUMES SOIL BEARING CAPACITY OF 1500 PSF.
- AFTER EXCAVATING, WHERE GROUND WATER IS PRESENT, REFER TO APPLICABLE CODES FOR WATERPROOFING/DRAINAGE.
- FIELD VERIFY WINDOW AND DOOR SIZES BEFORE ORDERING.

DESIGNER: JENN LEWIS

DRAWN BY: EMILY HALL

PERMIT:

**A4.0**

# ARB SUBMITTAL - 3/18/25

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ST. LOUIS, MO 63122  
OFFICE: 314.909.1800  
ARCHITECT: ARTHUR MERDINIAN



KATE AND CHRIS SWINGLE  
374 HALCYON DRIVE  
ST. LOUIS, MO 63122  
INTERIOR REMODEL AND ADDITION

PROJECT #: 240803  
C/E DATE: 10.22.2024  
D/A DATE: 12.12.2024  
W/T DATE: 1.10.2025  
C/A DATE: 2.18.2025  
P/T DATE:  
C/D DATE:

### REVISION DATES:

-  
-  
-

## WALL BRACING LEGEND

WALL BRACING TABLE:  
A) 24" MIN CS-WSP PANEL  
B) 48" MIN CS-WSP PANEL  
C) 16" MIN CS-PF PORTAL FRAME  
PANEL WIDTHS ARE BASED ON CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING. REFERENCE TABLE R602.10.3(1) FOR LENGTH REQUIREMENTS.

ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

## ELEVATION GENERAL NOTES

1. TYPICAL HEADERS ARE (2) 2x10'S U.N.O.
2. SEE OTHER SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION, TYPICAL DETAILS, AND GENERAL SPECIFICATIONS.
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6. FIELD VERIFY WINDOW AND DOOR SIZES BEFORE ORDERING.

DESIGNER: JENN LEWIS

DRAWN BY: EMILY HALL

PERMIT:

# A4.1

## 1 NEW WEST EXTERIOR ELEVATION

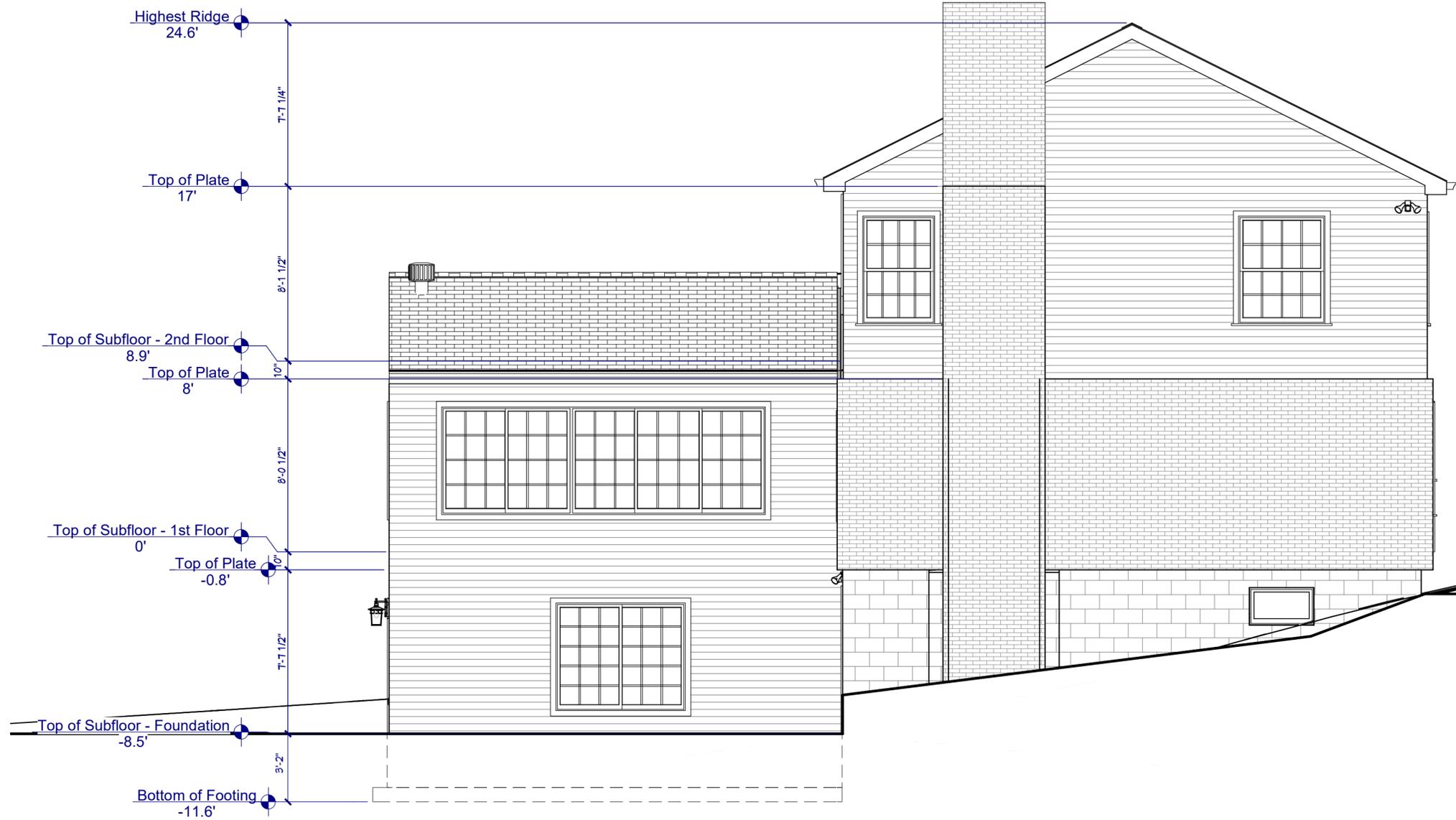
SCALE: 1/4" = 1'-0"

Date and Time Printed: Friday, March 21, 2025 13:39:50

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**1** NEW SOUTH EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

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### WALL BRACING LEGEND

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ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

### ELEVATION GENERAL NOTES

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1 NEW 3D EXTERIOR RENDERINGS  
NTS

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ARCHITECT: ARTHUR MERDINIAN

MO LICENSE #: A-6879

DESIGNER: JENN LEWIS

DRAWN BY: EMILY HALL

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ARCHITECT: ARTHUR MERDINIAN  
MO LICENSE #: A-6879

DESIGNER: JENN LEWIS  
DRAWN BY: EMILY HALL  
PERMIT:

## A7.1



**1** EXISTING PHOTOS  
NTS



**2** EXISTING PHOTOS - NORTH NEIGHBOR  
NTS



**3** EXISTING PHOTOS - SOUTH NEIGHBOR  
NTS